



CITY OF NORWALK  
DPW Permits  
Norwalk City Hall  
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September 2, 2022

Sent via email to: [esuchy@carmodylaw.com](mailto:esuchy@carmodylaw.com)

Elizabeth A.B. Suchy  
Partner  
Carmody Torrance Sandak & Hennessey LLP

**RE: 8 Van Tassell Ct: District 01, Block 105, Lot 25  
Proposed Light Mechanical Service and Repair Use  
DPW Plan Review Sign-Off**

Dear Ms. Suchy,

The Department of Public Works (DPW) for the City of Norwalk (City) has reviewed the supportive documents associated with the Special Permit Application at the above-referenced property. The focus of DPW's review has been to confirm the documents provided are in compliance with the current City Drainage Manual, Roadway Standards, Standard Detail Drawings, and other applicable design standards.

The following document(s) were provided to DPW and included in our review:

- Special Permit Application, prepared by Carmody Torrance Sandak & Hennessey LLP, dated 8/8/2022
- Zoning Location Survey, prepared by Arcamone Land Surveyors LLC, dated 9/2/2021
- Site Plan, prepared by Fairfield County Engineering LLC, dated 5/29/2021

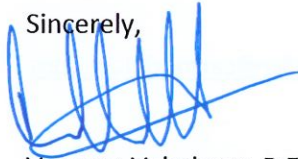
It is DPW's understanding that no site work is proposed as part of this application. Therefore, DPW has no objection for the project moving forward with the following condition(s):

1. Should any exterior work be proposed, a copy of the plans shall be submitted to DPW for review.
2. A DPW Encroachment Permit, in compliance with DPW's Permit Provisions, shall be required for work proposed in the City's Right-of-Way (ROW) prior to the commencement of work. Roadway restoration requirements shall be determined at the time of permitting.
3. Any existing trees that are to be removed within the City Right-of-Way that are 8 inches or greater in caliper, will require a tree removal permit and must be posted by the City's Tree Warden at least 10 days in advance, in accordance with the City Code Chapter 112.
4. City trees to be removed shall be replaced in accordance with City Code Chapter 112-10C.
5. Water Pollution Control Authority (WPCA) approval is required.
6. A copy of the As-Built drawing shall be submitted to DPW for review prior to the issuance of a Certificate of Occupancy/Compliance.

7. This approval shall be valid for a period of 12 months from the date stamped on the approved plan. Any permit issued on the basis of this approval must be issued within such 12 month period. Any renewal of the plan approval will be based on the then existing conditions and current applicable regulations, ordinances and standards of practice in effect at the time of the renewal.

Should you have any questions, please do not hesitate to contact me.

Sincerely,



Vanessa Valadares, P.E.  
Principal Engineer

Cc: DPW Permits  
Wilber Giron, P.E., Permit Engineer – DPW  
Christine Cardascia, E.I.T., Junior Engineer – DPW  
Ralph Kolb, P.E., Sr. Environmental Engineer – WPCA  
Garrett Bolella, P.E., Assistant Director – TMP  
Kyle Benjamin, Traffic Analyst – TMP  
Steven Kleppin, Director – Planning and Zoning  
Bryan Baker, Principal Planner – Planning and Zoning  
Michelle Andrzejewski, Senior Planner – Planning and Zoning  
William Ireland, Chief Building Official – Building and Code Enforcement  
Leo Guerrero, Assistant Building Official – Building and Code Enforcement  
Peter Kelly, Assistant Building Official – Building and Code Enforcement